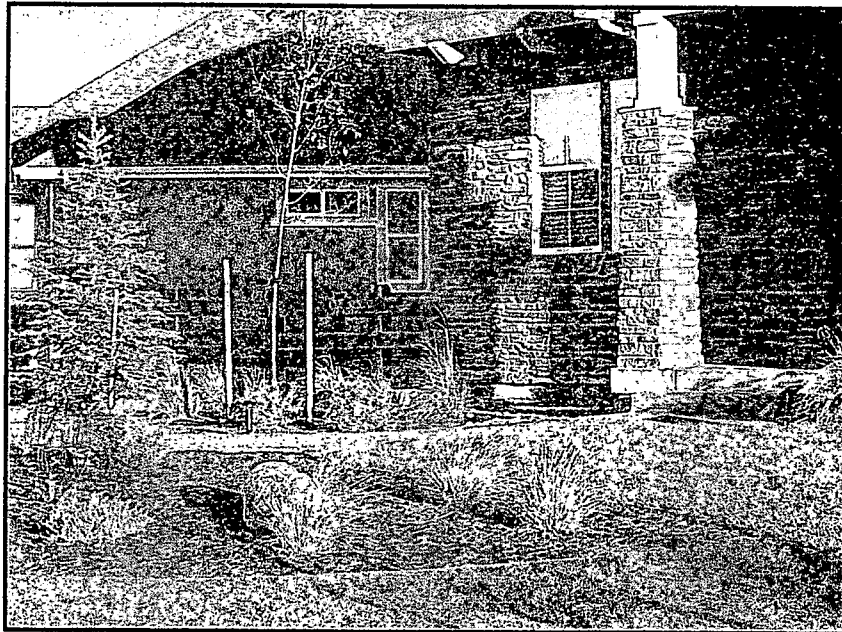


Rules, Regulations and Design Guidelines for

The Gables at Falcon Highlands



Original Issue Date: 1/18/06

Revised: 1/1/07

Revised: 3/15/07

Table of Contents

- 1. Purpose**
- 2. General Rules and Regulations**
 - A. Definitions**
 - B. General Rules**
 - C. Vehicular Rules**
 - D. Architectural**
 - E. Hot Tubs**
 - F. Satellite Dishes and Antennas**
- 3. General Landscape Guidelines**
 - a. Grading and Drainage
 - b. Installation Guidelines
 - c. Plant Materials
 - d. Planting Methods and Sizes
 - e. Ground Covers
 - f. Soil Amendments
 - g. Decorative and Retaining Walls
 - h. Irrigation
 - i. Streetscape Guidelines
 - j. Fencing
 - k. Maintenance
 - l. Enforcement
- 4. Single Family Landscape Guidelines**
 - a. Front Yard Landscape
 - b. Rear Yard Landscape
 - c. Corner Lot Landscape
 - d. Double Frontage Landscape
 - e. Lot Transition Landscape
 - f. Landscape Berms
 - g. Miscellaneous Landscape Features
 - h. Temporary and Permanent structures
- 5. Landscape Plan Review and Approval Process**
 - A. Drawing Submittal Checklist

Appendix

- A. Drawing Submittal Checklist
- B. Plant Palette
- C. Planting Details

1. Purpose

The purpose of the Rules, Regulations and Design Guidelines for The Gables at Falcon Highlands is to foster an environment that is visually pleasing and functions practically. The Rules, Regulations and Design Guidelines include general landscape, streetscape, and single family landscape recommendations. The Rules, Regulations and Design Guidelines may be amended at any time by the Approving Authority. The design objectives used to achieve an integrated landscape for The Gables include the following:

- Complement the Colorado native foothills and plains landscape.
- Provide a variation in color, textures and forms.
- Provide a "flowing" transition between lot lines.
- Unified streetscape providing a sense character and direction.
- Collaboration with the Falcon Highlands Metro District (FHMD).
- Provide homeowners with a sense place and ownership.

The Rules, Regulations and Design Guidelines are intended to compliment the existing Conditions, Covenants and Requirements (CC&R). If there is any conflict between these guidelines and the CC&R document, the CC&R shall take precedence. Rules, Regulations and Design Guidelines do not supersede or modify any existing local or state codes or ordinances.

2. General Rules and Regulations

A. DEFINITIONS Terms beginning with a capital letter and not otherwise defined below shall have the meanings set forth in the Declaration.:

A.1. Community shall mean all current or future recorded Filings within The Gables at Falcon Highlands.

A.2. Common Area shall mean Tracts or any area of Parcels designated for the common use of Lot Owners or the District by Declarant.

A.3. Derelict Vehicles means any vehicle not bearing a valid current state license plate or any vehicle which has not been moved under its own power for a period of 7 days or more.

A.4. Lot means each area that is designated as a Lot in the recorded plat of the Subdivision.

A.5. Occupant refers to any person whose usual place of residence is a home within The Gables.

A.6. Owner refers to the owner of record, whether one or more persons or entities, of a fee simple title to any Lot.

A.7. Pets means dogs, cats, or other animals which would normally be considered domesticated and kept within a household.

A.8. Recreational Vehicles include but are not limited to boats, jet skis, trailers, campers, camper shells, RV's, mobile homes, snowmobiles, and similar type of vehicles.

A.10. Commercial Vehicles are defined as cars, trucks, SUVs which are outfitted with a flatbed or racks which transport ladders or any material of a commercial nature, or a motor vehicle adorned with signage or lettering of a commercial nature as well as other equipment generally used in a trade or business. Commercial vehicles shall also include any vehicle rated over a one ton payload.

B. GENERAL RULES

B.1. Each Owner is responsible for providing a copy of these Rules and Regulations to any tenant. Replacement copies are available from FHMD.

B.2. Residents shall not make or permit loud noises or play musical instruments, radios, TV, etc., amplifiers and any other devices in such a manner as to disturb occupants of Lots. Violations should be reported to FHMD, as well as the proper authorities.

B.3. Per the CC&Rs, no advertising posters or signs shall be erected or placed in or on any Lot or in the Common Area without prior written approval from the Approving Authority. The ONLY signs that will be approved are "For Sale" and/or "For Rent" posters placed within an individual Lot.

B.4. Authorized Pets (Definition A.6).

B.4.1. Authorized Pets shall at all times be carried or on a leash while on the Common Areas.

B.4.2. Pets may not be tethered on any of the Common Areas, except within enclosed and fenced private yards.

B.4.3. The Owner is responsible for the clean up of any soilage as well as any damage caused by his or her pets on or to the Common Areas at the time the incident occurs.

B.4.4. All pets shall be restrained from making loud, repeated, or unreasonably annoying noises.

B.4.5. Unleashed or unattended pets should be reported to the FHMD as well as the proper authorities. It is the responsibility of the complainant to contact proper authorities.

B.4.6. A maximum of 4 pets are allowed per Lot and at any one time.

B.5. No fireworks or firearms may be fired or discharged in the Community.

B.6. Unlawful acts should be reported to the enforcement authorities. Drunk or disorderly persons should be removed from the Common Areas by police not by the FHMD. It is the responsibility of the Owners to contact the proper authorities.

B.7. Damage to the Common Areas caused by occupants or guests shall be paid for by the Owner. This includes traffic damage to landscaped areas.

B.8. Personal property may not be stored in the Common Areas. Items left on the Common Areas may be disposed of by the FHMD.

B.9. All trash must be placed in front of the homes within a sealed container. No trash is to be set out before 6:00 p.m. the day before the pick-up day. Trash containers must be stored in a location which is concealed from view from the Common Areas and neighboring properties. Containers left on the Common Areas may be disposed of by the FHMD.

C. VEHICULAR RULES

C.1. No part of the Community, including the public roadway and private driveways, shall be used as a parking, storage, display, or an accommodation area for any type of Recreational Vehicle (Definition A.8) or Commercial Vehicle (Definition A.10.), except if screened from view or as a temporary expedience for loading, delivering, emergencies, etc. Temporary is defined as no longer than twenty-four hours (24) in a seven (7) day period and can occur no more than two times per 30 day period. Screening must be approved by the Approving Authority and must consist of a minimum of at least a 2-3' high landscape berm used in combination with a series of several 6' (minimum) high evergreen trees used to screen all exposed sides (except facing the road). The evergreen should be a fast growing species such as Spruce or Poplar and ALL screening designs MUST BE approved by the Approving Authority prior to installation.

C.2. No repair work may be performed on any vehicle on the Common areas, and all Vehicle Repairs must be within a completely enclosed structure.

C.3. No abandoned or Derelict Vehicles of any kind shall be stored or parked on any roadway, Driveway or Common Area in the Community. In the event of a violation to this rule, a 72-hour notice will be posted on any vehicle in violation. After the initial 72-hour notice has expired, the Approving Authority shall have the right to remove the vehicle at the sole expense of the owner.

C.4. Vehicles may ONLY be parked on public roadways and concrete driveways within a private Lot. Vehicles are NOT allowed to be parked on a Lot without being located on a builder installed, or Approving Authority approved concrete driveway.

C.5. In the event of any violation of the Declaration or these Rules and Regulations concerning motor vehicles and parking, then in addition to all rights and remedies provided by the Declaration, the Approving Authority/FHMD shall be entitled to tow the subject vehicle and the Owner and vehicle owner (if different) shall be jointly and severally liable for all expenses, costs and fees incurred in such towing

of the Declaration or these Rules and Regulations concerning motor vehicles and parking, in addition to the above the Owner shall also be subject to a reasonable fine assessment imposed by the Approving Authority, after notice as follows:

C.5.1. When a violation is seen or brought to the attention of FHMD, the homeowners will receive a courtesy notice explaining the violation and ask to have this violation rectified within a 15-day period.

C.5.2. If by the following month's inspection, the homeowner is still in violation they will receive their first violation letter, which again states the violation and asks to have the violation rectified within a 15-pay period, but there is no fine associated with this.

C.5.3. When the second violation is sent, you are fined \$25, which is attached to your account and can cause you to amass late fees and processing fees if not rectified and paid by the time next month's inspection is performed.

C.5.4. When the third violation is sent, you are fined \$50, which is added to your previous fine and again added to your account.

C.5.5. When the fourth violation is sent, you are fined \$100, which again is added to your account.

D. ARCHITECTURAL

D.1. Owners and/or tenants shall not make any exterior additions, alterations, or permanently decorate exterior surfaces or make changes to the fences, decks, balconies, walls, front or rear yard of a lot or structure without prior written request and approval of the Approving Authority. Requests must be submitted to the Approving Authority on the approved application form, including owner signature, and submitted to the Approving Authority care of FHMD. The Approving Authority will make its judgment in light of safety and aesthetic considerations. Written response from the Approving Authority shall be forth coming within 30 days of receipt of such request.

D.2. All decks, balconies, porches, and patios shall be used for the purpose intended and shall not be used for hanging garments or any other articles or cleaning rugs, household articles, or other items.

D.3. No structures, including but not limited to play equipment, trellises and gazebos will be allowed within a Lot without prior approval of the Approving Authority.

D.4. Accessory Buildings and Sheds are allowed and must adhere to the following guidelines:

D.4.1 Sheds must not exceed 300 sf in total size and not exceed 12 feet high.

D.4.2. Accessory Buildings and Sheds exterior paint colors and roofing material colors shall match or compliment house color.

D.4.3 Accessory Buildings and Sheds cannot be constructed in utility easements or building setbacks.

D.4.4 Accessory Building and Shed designs MUST be submitted to the Approving Authority for approval and each design must be accompanied by an accurate site plan. Each Accessory Building will be reviewed on an individual basis as to meet aesthetic and functional design determined by the Approving Authority. Accessory Buildings cannot be constructed of metal and must received a building permit from the Regional Building Department if required per code.

D.5. Deck designs must be approved by the Regional Building Department and the Approving Authority. Contact the Regional Building Department for review and approval requirements. Decks cannot be constructed in utility easements or building setbacks. Decks shall compliment house colors.

D.6. Clotheslines will not be permitted.

D.7. Holiday Decorations may only be displayed thirty (30) days before the celebrated Holiday and must be removed thirty (30) days after the Holiday. Decorations may be placed only within the Lot.

E. HOT TUBS

E.1 Hot tubs, Jacuzzis and spas may not be installed without prior approval from the Approving Authority. The following guidelines will be applied:

E.1.1 Hot tubs, Jacuzzis, or spas are only permitted in the rear yard of a Lot.

E.1.2. The tub must have a lock-down cover and this cover must be in place when the tub is not in use.

E.1.3. No plumbing or electrical work may be performed without a permit from the county, if required. Permits should be submitted to the Approving Authority with the architectural change request.

E.1.4. Hot tubs, Jacuzzis or spas must be adequately screened from adjacent properties and screening must be included with the architectural submittal request to the Approving Authority.

F. SATELLITE DISHES AND ANTENNAS.

7.1. Location and installation of a satellite dishes shall be approved by the Approving Authority prior to installation. Please refer to the Declarations Article II Section 207 for further information.

3. General Landscape Guidelines

a. Grading and Drainage

Grading shall respect the natural landforms providing graceful contours rather than sharp angles or abrupt grade changes. Lots shall be graded to provide positive drainage away from all structures toward internal streets.

Downspout drainage from a house must terminate a minimum of 5' from the structure and shall not extend to any property boundary. Planting and hardscape shall not obstruct or significantly alter drainage flow lines or patterns.

Prior to any landscape improvement or additions to property it is recommended that homeowners obtain and review their specific lot drainage plan to avoid any grading and landscape conflicts. Drainage water shall not be directed onto any adjacent property unless it is located within a clearly defined drainage easement.

b. Installation Guidelines

All landscaping for front yard areas shall be completed no later than 6 months after the date of purchase of the property. The 6 month period begins the day the warranty deed transferring title of the property to the first purchaser occurs. All homes closing between November and April must have the landscape installed prior to October 1st. All landscaping for rear, side, corner and double frontage yards shall be completed within one(1) year of closing.

c. Plant Materials

Plant species shall be selected from the approved plant list the Appendix.

d. Planting Methods and Sizes

All homeowners are encouraged to pay careful attention to the following planting methods to ensure plant establishment, and long-term health and survivability. The plant material in the The Gables is more susceptible to damage from exposure to wind and heat.

Planting Methods

- All plant material planting pits shall be excavated to twice the diameter as the root-ball. Root-ball shall be set 2-4" above finish grade for clay soil and at grade for sandy soil.
- After backfill tamp and water thoroughly.
- Deciduous trees shall be double staked with lodge poles. Evergreen trees shall be staked with 3 lodge poles evenly spaced.
- All plant material shall receive agriform, 21 gram fertilizer tablets (20-10-5) as follows: 1 gallon plant-1 tablet, 5 gallon plant-3 tablets, 1 ½" caliper tree-4 tablets, 2" caliper tree, 5 tablets, 2 ½" caliper trees-6 tablets. Place tablets evenly spaced at half the depth of the root ball.
- All trees shall be planted a minimum of five(5) feet from any hardscape, structure or property lines including the homes, sidewalks, patios, fences and other similar structures.

Planting Sizes

Homeowners are encouraged to plant trees that exceed the minimum requirements. Minimum plant sizes for The Gables are as follows:

- Shrubs: 5 gallon
- Ornamental Grasses: 5 gallon
- Deciduous Shade Trees: 2" caliper
- Deciduous Street Trees: 2 1/2" caliper
- Deciduous Ornamental Trees: 1.5" caliper
- Evergreen Trees: 8 ft high from finish grade

e. Ground Covers

All shrub and flower beds must be mulched with 3" depth organic wood mulch. Rock areas shall have landscape fabric, not plastic, as weed barrier. The same type of rock or mulch must be used between lots. See the Lot Transition section for additional information.

Rock Mulch

Approved rock mulches are as follows:

- 1 1/2" diameter rock for areas near foundations.
- 2-4" diameter rock cobble for decorative swales and accent areas.

Organic Wood Mulch

Many different types of wood mulches are available and are applicable in The Gables community. However, type and color of mulch must be submitted as part of the plan drawing. The following organic wood mulches are pre-approved:

- Metro Mulch
- Shredded Cedar

Turf Grass

A maximum of 2,500 sf of turf grass can be installed for each private property. Turf grass shall be Kentucky Bluegrass or turf type fescue, with low clay content, and laid with tight staggered edges. No substitutions will be allowed. Front yard may have a maximum of 1,250 sf of turf. A minimum of 600 sf of turf grass shall be used in the front yard landscape. Soil in turf areas must be amended as described in the Soil Amendments section.

Seeding

Permanent non-irrigated native seed areas shall be "Foothills" blend mix. Seed must be hand broadcast or hydro-mulched by a professional landscape contractor. Seed must be applied to achieve no bare spots larger than 6" after germination. The native seed should not be sown between the months October and April.

f. Soil Amendments

Soil amendments shall be provided for all trees, shrubs, ornamental grasses, and turf grass and seeded areas. Soil amendments shall be blended compost tilled into the existing soil at 3 yards per 1,000 sf.

g. Decorative and Retaining Walls

Decorative walls are encouraged to provide variations in texture and elevation. These walls must not exceed 24" high or 40' in length and shall be constructed of natural stone. Timber walls are not allowed. See Figure 1. If retaining walls are required where grades must be met use the following guidelines:

- 42" maximum height
- Terracing is encouraged where a 42" height is necessary
- Natural stone or interlocking modular block systems are allowed
 - Modular block system shall be installed per manufacturer recommendations.
- Concrete masonry unit (CMU) walls are not allowed
- Colors shall be earth tones
- Timber walls are not allowed

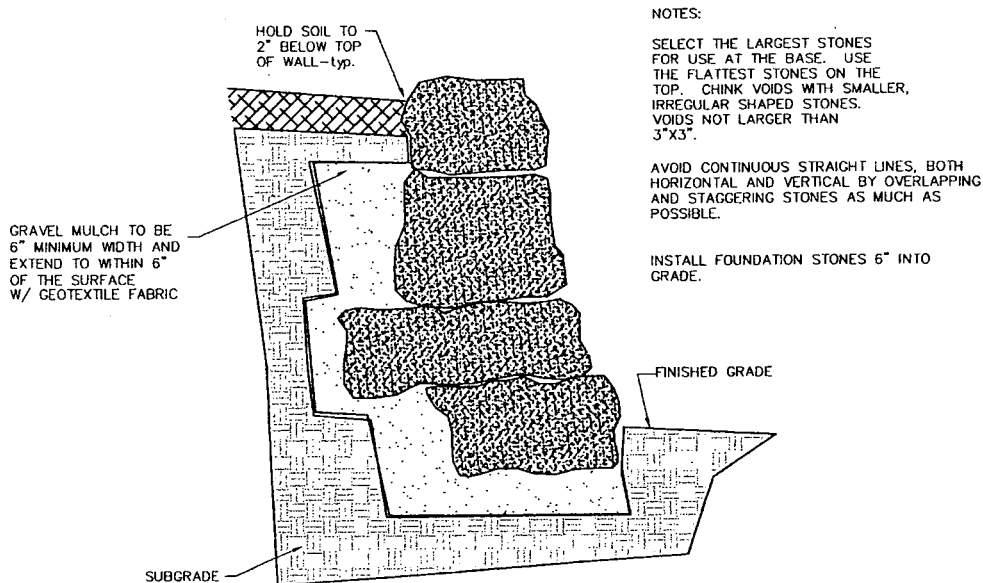


Figure 1 NATURAL STONE RETAINING WALL

Prior to any wall construction all retaining wall materials and colors must be approved and samples submitted to the Approving Authority 30 days prior to scheduled construction.

h. Irrigation

To maintain the best appearance, growth and survival of all the plant material and grass areas an automated, permanent underground irrigation system is required for all private yards. The irrigation system shall consist of spray and rotor heads for turf and seeded areas, and direct drip emitter

used for turf grass and planting bed areas only using spray and/or rotor heads. Temporary spray and/or rotor irrigation is allowed for a four(4) month period for all seeded areas. All irrigation water lines must be below grade. After a four month establishment period the irrigation in the seeded areas must be turned off and disconnected.

It is recommended that the irrigation system be designed and installed by a qualified professional familiar with irrigation practices in Colorado and specifically the The Gables area. The following irrigation practices are required:

- All systems shall be designed to minimize overspray and utilize rotor heads when possible.
- Spray and rotor heads are not permitted within five(5) feet of any building foundation.
- Trees and shrubs should always be zoned together on drip systems.
- Spray heads should always be zoned together and rotor heads should always be zoned together.
- A backflow prevention device is required for all residential irrigation systems and shall be installed according to all state and local codes and practices.
- It is recommended that all underground irrigation systems be installed with auto drain valves to prevent winter damage to water lines.
- Backflow prevention devices shall be inspected by the FHMD after installation.
- The FHMD may choose to test backflow devices on an annual basis to ensure compliance with the State of Colorado requirements.

I. Streetscape Guidelines

In order to foster positive, consistent streetscape appearance one(1) deciduous street tree shall be located in the front yard near the street. The tree must be 10' from the sidewalk and located in the irrigated turf area. The minimum trees size is 2 1/2" caliper. Street trees shall not be planted closer than 15' on center. For corner and side yard adjacent to streets one(1) tree per 30' is required. Approved street trees are identified in the Appendix. All residential streets will have a 4' attached concrete sidewalk on both sides.

J. Fencing

All perimeter and dog area fencing shall conform to the following guidelines. See figure 2 for typical perimeter fencing.

- Design: 3-rail with posts 8' on center
- Post size: 6x6x6" with 1/2" chamfered edges and set in concrete
- Rail size: 2x8x8"
- Material: Cedar
- Stain color: light brown
- Height: 5' maximum
- Gates: width: 3' minimum; 8' maximum; maximum of 3 gates per property allowed

- Dog area: Must be 3 rail fence with 2" square welded wire mesh not to exceed top rail. Dog area layout and fencing must be included in the landscape plan for approval. Chain Link fencing is not allowed.

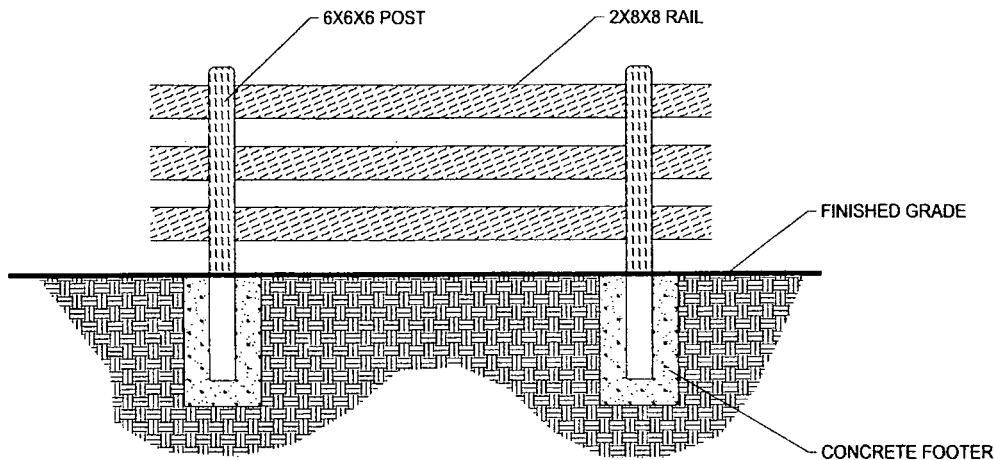


Figure 2 TYPICAL PERIMETER FENCING

No fencing will be allowed to break the plane of the front of the home, it must be located on the side or rear of the home.

A masonry patio screen wall surrounding a rear yard patio is allowed if the patio is located adjacent to the home and does not exceed 4' (feet) in height. Masonry materials must be of a complimentary color and style to the home and ALL patio screen walls must be approved by the Approving Authority.

K. Maintenance

Each homeowner is responsible for maintaining all the landscape and irrigation within the private lot boundary. Maintenance shall consist of the following practices:

- Regular weekly mowing for turf grass areas
- Regular mowing for native grass areas. Native grass shall not exceed 10" height.
- Trimming dead branches
- Remove and replace dead plant material. Dead plants must be replaced within one week of dead appearance.
- Weekly trash and debris pickup.

L. Enforcement

The practices and requirements set forth in this document shall be reviewed and enforced by the Approving Authority and FHMD on a regular basis. If the installed landscape and irrigation clearly does not meet any or all of the criteria outlined in this document the Approving Authority shall have the right to require deficiencies to be identified, conveyed by formal letter to the homeowner, and brought to compliance. Compliance must be met within 30 days of issuance of letter.

4. Single Family Landscape Guidelines

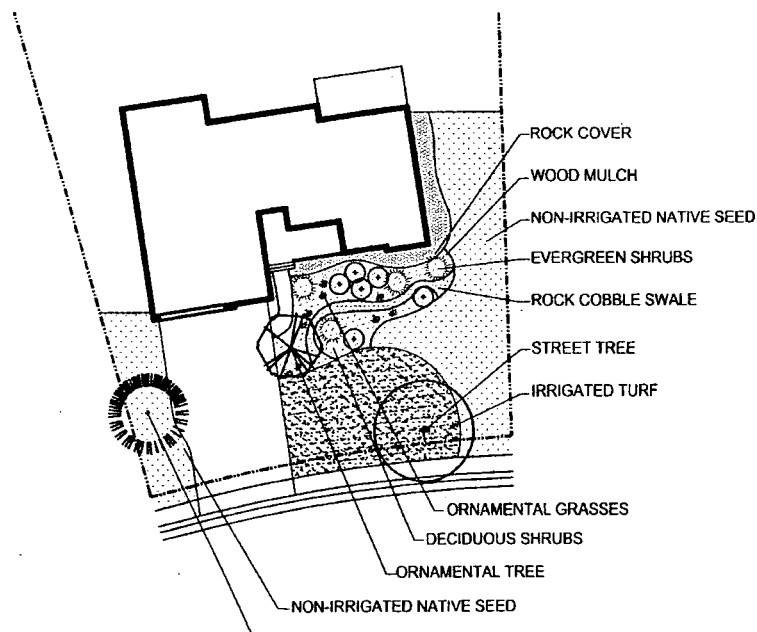
A. Front Yard Landscape

Front yards must be fully landscaped. See figure 3

- Landscape should include a combination of trees, shrubs, ornamental grasses, perennials, irrigated turf grass, and non-irrigated native seed areas.
- Shade trees must be located at least 25' apart and at least 10' from structures.
- Unplanted organic wood mulch areas are not allowed in the front yard. To provide acceptable live plant coverage shrubs and ornamental grasses shall be spaced a maximum of 6' on center.
- A maximum of 2500 sf of irrigated turf grass will be allowed. A maximum of 1,250 sf and a minimum of 600 sf of irrigated turf grass shall be used for front yard landscapes. Turf grass must be at least 5' from structures. It is recommended that turf grass be located on one side of the driveway unless turf grass can be utilized by two homeowners to create a cohesive appearance. See Lot Transition Landscape Section.
- All landscape areas excluding turf grass, rock or planter shall be non-irrigated native seed. See ground cover section for details.
- See the landscape installation section for additional guidelines.

The homeowner is required to install a minimum front yard landscape including the following:

- Ten(10) shrubs selected from the approved plant list; five(5) evergreen and five(5) deciduous.
- Ten(10) ornamental grasses selected from the approved plant list.
- One(1) ornamental tree selected from the approved plant list.
- One(1) street tree selected from the approved plant list. See streetscape guideline section.
- One(1) evergreen tree selected from the approved plant list.
- One(1) decorative rock cobble swale. Swale should meander through the organic wood mulch plant area and contain no plants.



B. Rear Yard Landscape

The rear yard must be fully landscaped. See the landscape installation section for timing guidelines, and the streetscape section for street tree requirements. The landscape should include a combination of trees, shrubs, ornamental grasses, perennials, irrigated turf grass, and non-irrigated native seed areas. The quantity, type and location of plant material is at the lot owner's discretion, however, a plan for the landscape must be submitted for review and approved. Plant materials must be selected from the approved plant list in the Appendix. The rear yard shall have a minimum of 75% live plant ground coverage. Unplanted organic wood mulch areas are not allowed. See figure 4

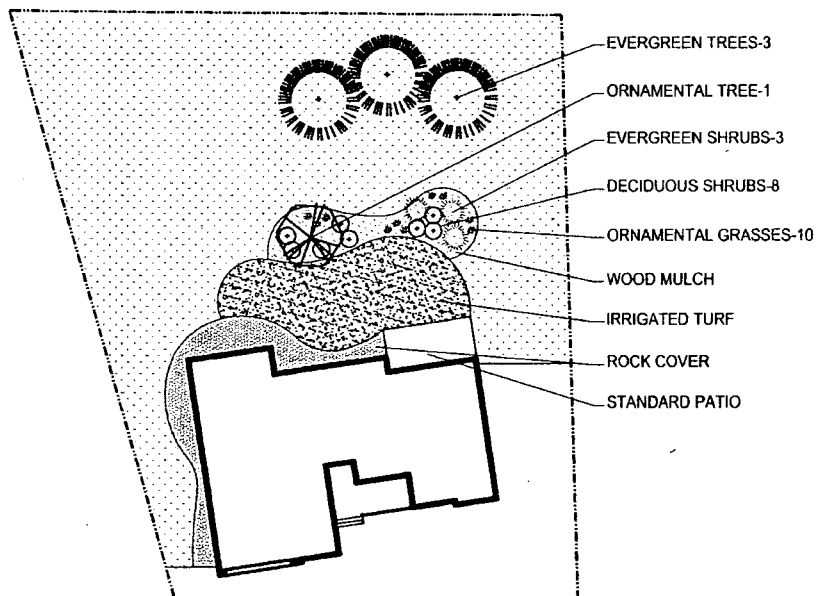


Figure 4 TYPICAL REAR LANDSCAPE

C. Corner Lot Landscape

The corner lot yard must be fully landscaped. See the landscape installation section for timing guidelines, and the streetscape section for street tree requirements. The landscape should include a combination of trees, shrubs, ornamental grasses, irrigated turf grass, and non-irrigated native seed areas. The quantity, type and location of plant material is at the lot owner's discretion, however a plan for the landscape must be submitted for review and approved. Plant materials must be selected from the approved plant list in the Appendix. The rear yard shall have a minimum of 75% live plant ground coverage. At all street intersections sight visibility distances must be unobstructed in accordance with El Paso County codes.

D. Double Frontage Landscape

street tree requirements. The landscape should include a combination of trees, shrubs, ornamental grasses, irrigated turf grass, and non-irrigated native seed areas. The quantity, type and location of plant material is at the lot owner's discretion, however a plan for the landscape must be submitted for review and approved. Plant materials must be selected from the approved plant list in the Appendix. The double frontage lot side yard shall have a minimum of 75% organic ground coverage. Unplanted organic wood mulch areas are not allowed. At all street intersections sight visibility distances must be unobstructed in accordance with El Paso County codes.

E. Lot Transition Landscape

Landscaping between lots shall provide fluid visible and functional relationship. All plant material massing should blend the common property boundary together. Defined edges, such as mow strips and edging between property boundaries are not allowed. One type and color of wood or rock mulch should be used throughout single planting areas. If organic wood mulch is used a minimum of 75% live plant ground coverage is required. Plant materials must be selected from the approved plant list in the Appendix.

F. Landscape Berms

In order to provide a dynamic and attractive landscape within The Gables landscape berms are encouraged. When installing berms the following guidelines should be met:

- Use high quality topsoil.
- Maximum height shall be 24 inches
- Maximum width shall be 25'
- Minimum width shall be 3'
- Shape should be naturalistic in form and blend with the surrounding landscape.
- May be used in organic wood mulch, rock or native seed areas. Berms are not allowed in the irrigated turf areas.
- Located to allow drainage to function properly.

G. Miscellaneous Landscape Features

Landscape features such as water rocks and fire pits are permitted and must be clearly noted on the plan drawing and submitted for approval.

5. Landscape Plan Review and Approval Process

The The Gables Landscape Guidelines provide the basis for the review and approval process. The homeowner and owner representatives must adhere to the following procedures to secure the required approvals.

The submittal package must include drawings, notes, details, and additional information as identified in the Landscape Guidelines. An incomplete submittal package will not be reviewed and will be returned to the homeowner for re-submittal. Homeowners are required to submit a plan drawing for the front and rear yard and side, corner or double frontage lot as

than 30 days after closing and will be reviewed 30 days after submittal to the Approving Authority. It is recommended the homeowner contract with a professional landscape architect to generate the drawings and a professional landscape contractor for installation. Refer to the drawing submittal checklist for the required drawing components. See Appendix.

Please submit drawings and any questions to the following contact:

Approving Authority

C/O FHMD

Phone: 719-886-4288

**Address: 7464 Antelope Meadows
Falcon, CO 80831**

Appendix

A. Drawing Submittal Checklist

Format

- _____ 11x17" or 24x36" paper size
- _____ Homeowner name, lot number, address, phone number and builder name.
- _____ Consultant(s) name and phone number (if applicable).

Existing Conditions

- _____ Clearly show the property boundary, building footprint, setbacks, easements, right-of-ways, plant material, and drainage ways.

Hardscape and Structures

- _____ Clearly show existing and proposed concrete driveways, sidewalks, patios, seating areas, fencing, decks, spas, water features, play equipment, and all other hardscape or structures. Fencing details must be provided describing type, color, and height.

Ground Cover

- _____ Clearly show irrigated turf, non-irrigated seed, rock cover, and organic mulch areas. Indicate type, size and color of rock and mulch ground covers.
- _____ Plan shall indicate if Kentucky Bluegrass turf grass or turf type fescue turf grass will be used for the irrigated turf areas.

Plant Materials

- _____ Include name and installed size for all trees, shrubs, and ground covers.
- _____ On plan drawing show all plant material locations at 75% of mature plant size.

Retaining Walls

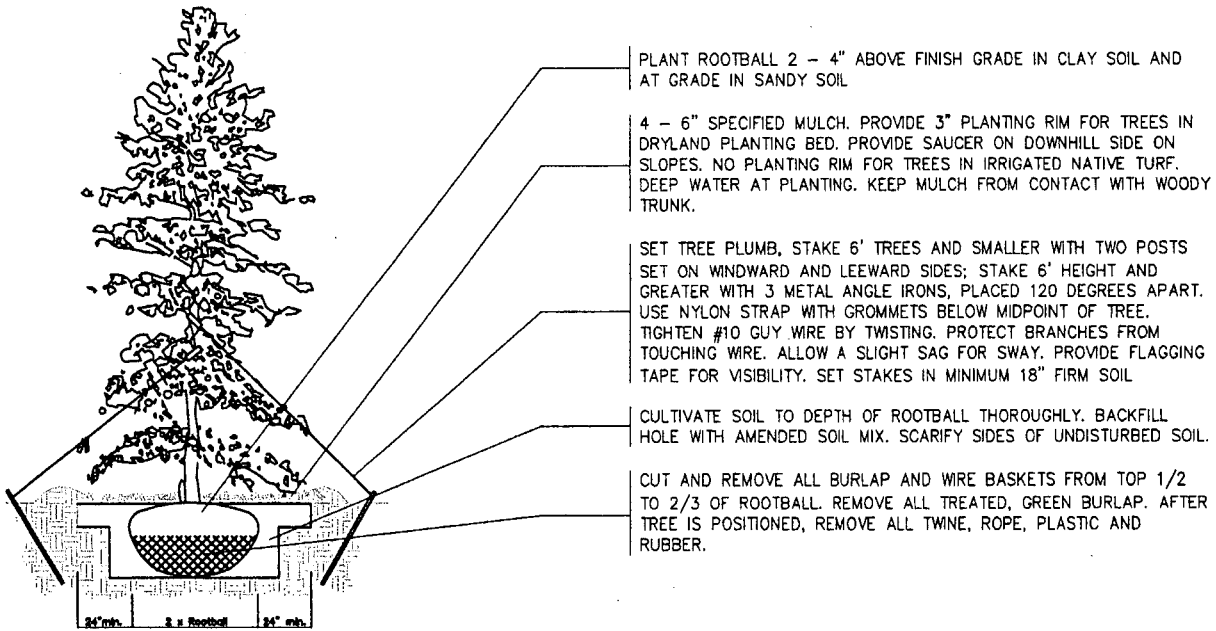
- _____ Clearly show wall locations, color, type, height, length, and grading surrounding the walls. Include product specification brochures if possible.

B. Approved Plant Palette

<u>Common Name</u>	<u>Botanical Name</u>
Deciduous Trees	
Ash (most)	Fraxinus americana
Amur Chokecherry	Populus spp.
Crabapple (most)	Malus spp.
Cistena Plum	Prunus cistena
Canada Red Cherry	Prunus virginiana
Cottonwood, Narrowleaf	Populus x acuminata
Goldenrain Tree	Koelreuteria paniculata
Hawthorn, Cocksbur (most)	Crataegus crus-galli
Honeylocust	Gleditsia tricanthos
Japanese Tree Lilac	Syringa reticulata
Linden	Tilia americana
Maple	Acer spp.
Pear	Pyrus spp.
Serviceberry, Shadblow	Amelanchier canadensis
Evergreen Trees	
Austrian Pine	Pinus nigra
Blue Spruce	Colorado Blue Spruce
Pinon Pine	Pinus edulis
Ponderosa Pine	Pinus ponderosa
Scotch Pine	Pinus sylvestris
Deciduous Shrubs	
American Plum	Prunus americana
Buffaloberry, Silver	Shepherdia argentea
Canada Red Cherry	Prunus virginiana
Chokeberry, Black	Aronia melanocarpa elata
Cotoneaster, Peking or Hedge	Cotoneaster lucidus
Cotoneaster, Spreading	Cotoneaster spp.
Currant, Golden	Ribes aureum
Dogwood, Redtwig	Cornus stolonifera 'redtwig'
Dogwood, Yellow Twig	Cornus stolonifera spp.
Elder, Golden	Sambucus Canadensis 'aurea'
Forsythia, Weekend	Forsythia spp.
Gooseberry, Pixwell	Ribes hirtellum
Honeysuckle, Arnold's Red	Lonicera tartarica 'arnolds red'
Mockorange	Philadelphus spp.
Nanking, Cherry	Prunus tomentosa
Ninebark, Golden	Opulifolius intermedius
Potentilla (All)	Potentilla spp.
Privet, Cheyenne	Ligustrum vulgare 'cheyenne'
Rabbitbrush	Chrysothamnus nauseosus
Sage, Russian	Perovskia atriplicifolia
Serviceberry, Shadeblow	Amelanchier canadensis
Silverberry	Eleagnus commutata
Snowberry, Red	Symphoricarpos spp.
Snowball, Bush	Bodnantense spp.
Spirea (All)	Caragana spp.
Viburnum, Snowball	Viburnum opulus
Western Sandcherry	Prunus besseyi
Evergreen shrubs	
Arcadia Juniper	Juniperus sabina
Armstrong Juniper	Juniperus chinensis 'armstrong'
Blue Chip Juniper	Juniperus horizontalis 'blue chip'
Blue Rug Juniper	Juniperus horizontalis 'blue rug'
Blue Tam Juniper	Juniperus sabina tamariscifolia
Buffalo Juniper	Juniperus sabina 'buffalo'
Calgary Carpet Juniper	Juniperus sabina 'calgary carpet'
Gold Coast Juniper	Juniperus chinensis 'gold coast'

C. PLANTING DETAILS

EVERGREEN TREE DETAIL

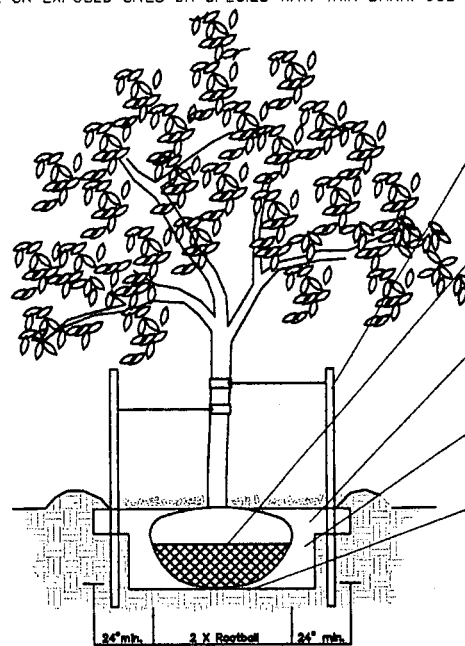


NOTES:
DO NOT REMOVE OR CUT LEADER.
PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE
KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
AVOID FALL PLANTING IF POSSIBLE.
AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.

DECIDUOUS TREE DETAIL

NOTES:

- DO NOT REMOVE OR CUT LEADER.
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- AVOID FALL PLANTING IF POSSIBLE.
- AMENDED BACKFILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
- WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE, NOT TWINE. WRAP OCTOBER 15 AND REMOVE BY MARCH 31.



SET TREE PLUMB, STAKE AND TIE 3" CALIPER TREES WITH TWO POSTS ON THE WINDWARD AND LEEWARD SIDES; STAKE OVER 3" CALIPER WITH 3 EVENLY SPACED POSTS. USE NYLON STRAP WITH GROMMETS BELOW MIDPOINT OF TREE. TIGHTEN #10 GUY WIRE BY TWISTING. PROTECT BRANCHES FROM TOUCHING WIRE. ALLOW A SLIGHT SAG FOR SWAY. PROVIDE FLAGGING TAPE 6" DANGLING. SET STAKES IN MINIMUM 18" FIRM SOIL

PLANT ROOTBALL 2 - 4" ABOVE FINISH GRADE IN CLAY SOIL AND AT GRADE IN SANDY SOIL

4 - 6" SPECIFIED MULCH. PROVIDE 3" PLANTING RIM FOR TREES IN DRYLAND PLANTING BED. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR TREES IN IRRIGATED NATIVE TURF. DEEP WATER AT PLANTING. KEEP MULCH FROM CONTACT WITH WOODY TRUNK.

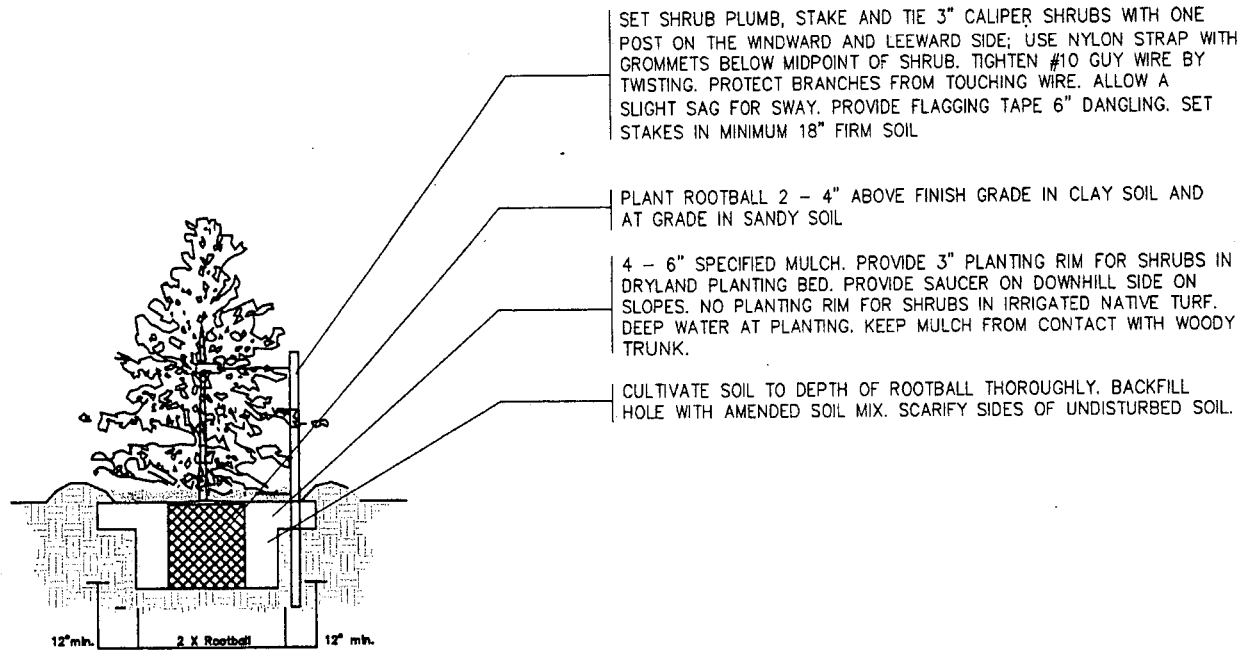
CULTIVATE SOIL TO DEPTH OF ROOTBALL THOROUGHLY. BACKFILL HOLE WITH AMENDED SOIL MIX. SCARIFY SIDES OF UNDISTURBED SOIL.

CUT AND REMOVE ALL BURLAP AND WIRE BASKETS FROM TOP 1/2 TO 2/3 OF ROOTBALL. REMOVE ALL TREATED, GREEN BURLAP. AFTER TREE IS POSITIONED, REMOVE ALL TWINE, ROPE, PLASTIC AND RUBBER.

EVERGREEN UPRIGHT SHRUB
DETAIL

NOTES:

- DO NOT REMOVE OR CUT LEADER.
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- AVOID FALL PLANTING IF POSSIBLE.
- AMENDED BACKFILL SHALL BE 70 % SOIL FROM PLANTING PIT AND 30 % ORGANIC MATERIAL.



NOTES:

PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 AMENDED BACKFILL SHALL BE 70 % SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL,

